



LEGEND

- 1 Kindergarten Courtyard
- 2 Carpark Entrance
- 3 Entrance Courtyard
- 4 Sitting out area
- 5 EVA / Tree Avenue
- 6 Swimming pool
- 7 Jacuzzi
- 8 Children's play pool
- 9 Pool Deck
- 10 Buffer planting
- 11 Private Garden

 Shrubs / Groundcover Planting

 Site Boundary / Fence Wall

 Proposed New Trees

 Proposed Shrubs / Groundcover Planting

 Loading and Unloading Area



Application No. A/H-7451/522

Plan approved by

Y.L. SO
District Planning Officer / Tam Man & Tuen Ling
for Director of Planning

PLANNING DEPARTMENT

Date: 23.5.2008



1. PROJECT NAME	2. PROJECT NO.	3. PROJECT LOCATION	4. PROJECT STATUS
5. PROJECT DESCRIPTION	6. PROJECT OWNER	7. PROJECT CONTACT	8. PROJECT DATE
9. PROJECT REVIEW	10. PROJECT REVIEW	11. PROJECT REVIEW	12. PROJECT REVIEW
13. PROJECT REVIEW	14. PROJECT REVIEW	15. PROJECT REVIEW	16. PROJECT REVIEW
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PROPOSED RESIDENTIAL DEVELOPMENT AT HUNG SHUI KIU, YUEN LONG. LOT.2064 IN DD121

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 Rev. No. 0
 Date Drawn 04/01/08

茲證明城市規劃委員會已根據城市規劃條例第1A(3)條的規定而於二零零六年九月一日批准本總綱發展藍圖。
 I hereby certify, as required under S.4A(3) of the Town Planning Ordinance, that this Master Layout Plan was approved by the Town Planning Board on 1. 9. 2006.

signed Mr. Raymond Young
 Chairman, Town Planning Board

楊立門
 城市規劃委員會主席 簽署



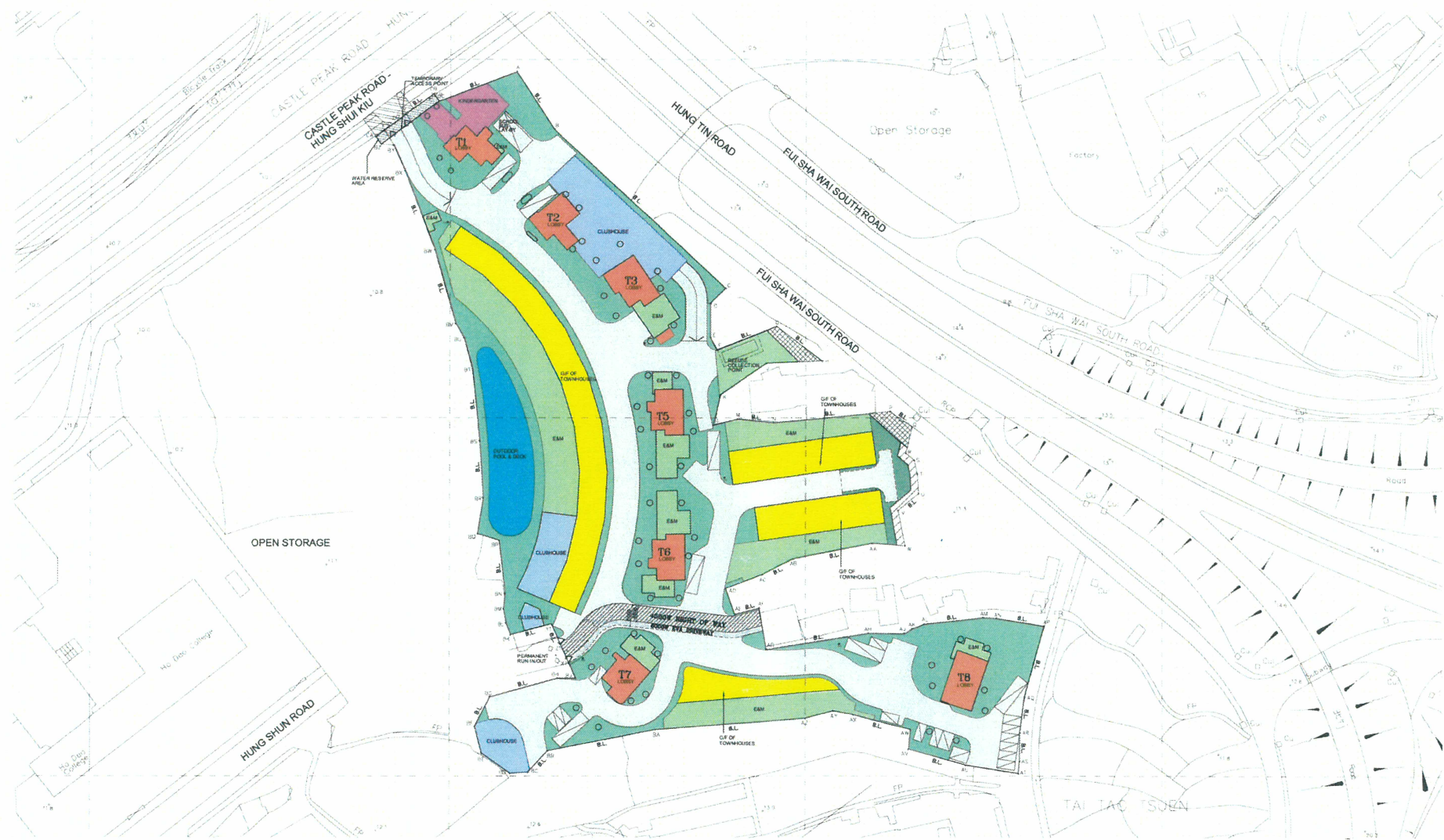
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Date Drawn **04/01/08**



LEGEND:

- PINK CROSS HATCHED BLACK AREA - NON-BUILDING AREA & PEDESTRIAN WAY SC(201) & SC(45) REFERS
- PINK HATCHED BLACK AREA - PEDESTRIAN WAY SC(201) REFERS



FIGURE 3.3 - GROUND FLOOR PLAN

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FIGURE 3.4 - FIRST FLOOR PLAN

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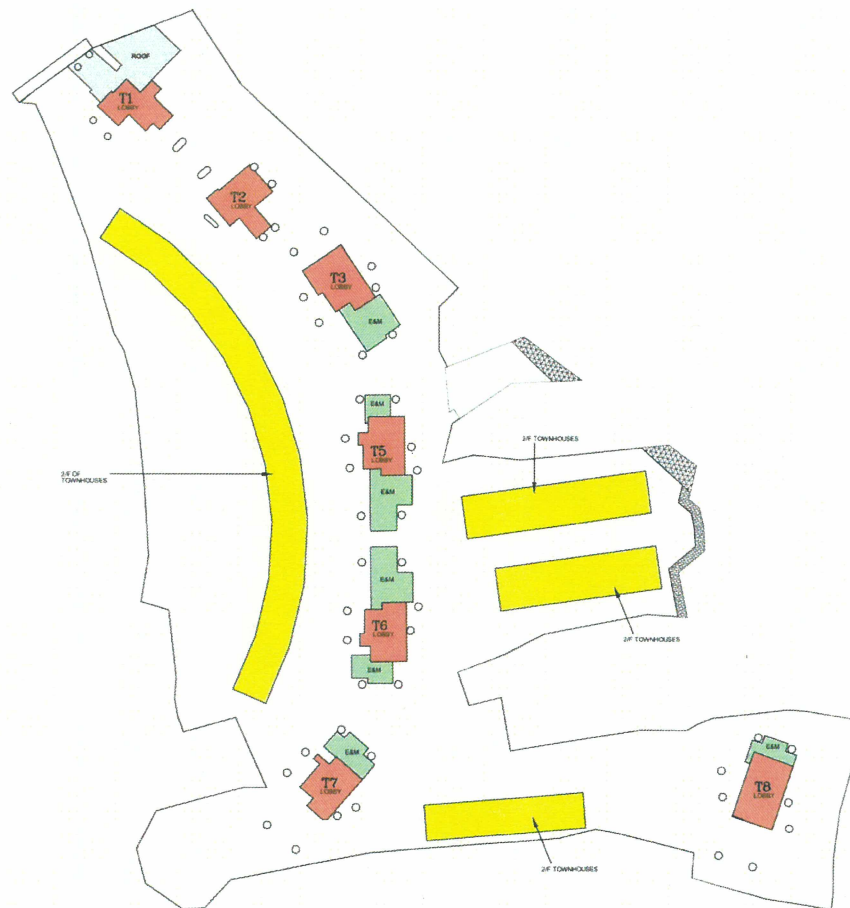


FIGURE 3.5 - SECOND FLOOR PLAN

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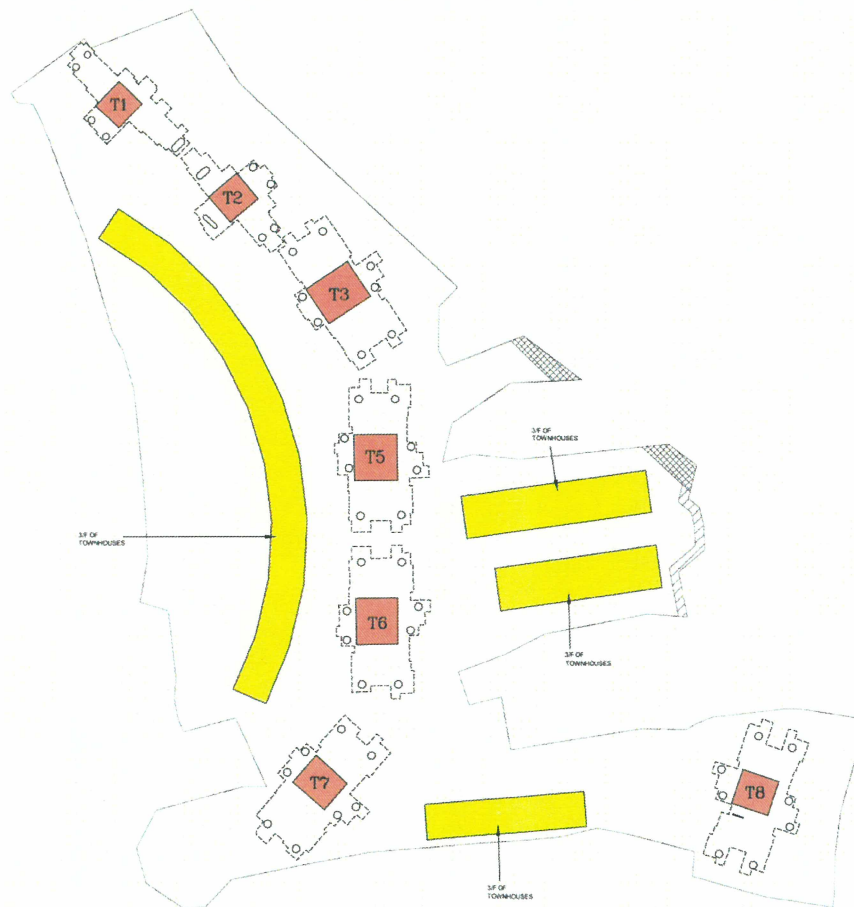


FIGURE 3.6 - THIRD FLOOR PLAN

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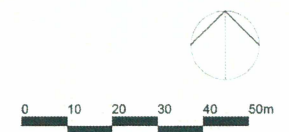
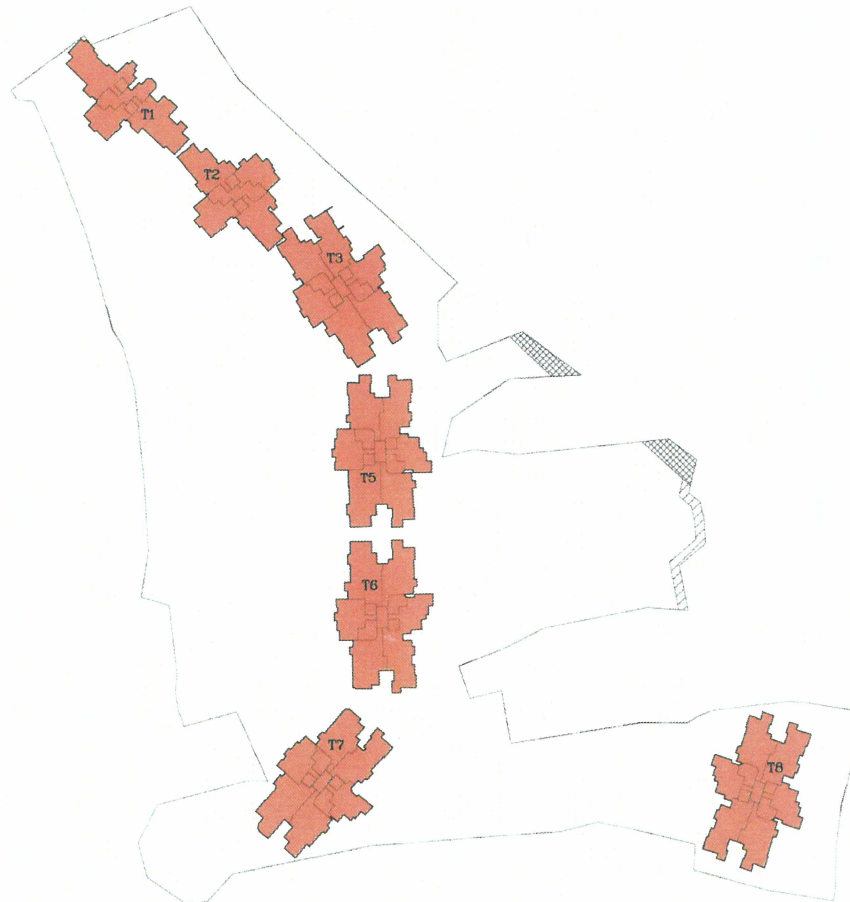
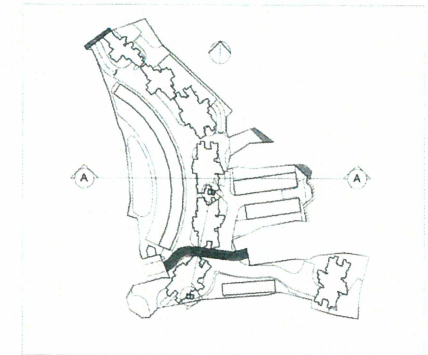


FIGURE 3.7 - TYPICAL FLOOR PLAN

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KEY PLAN

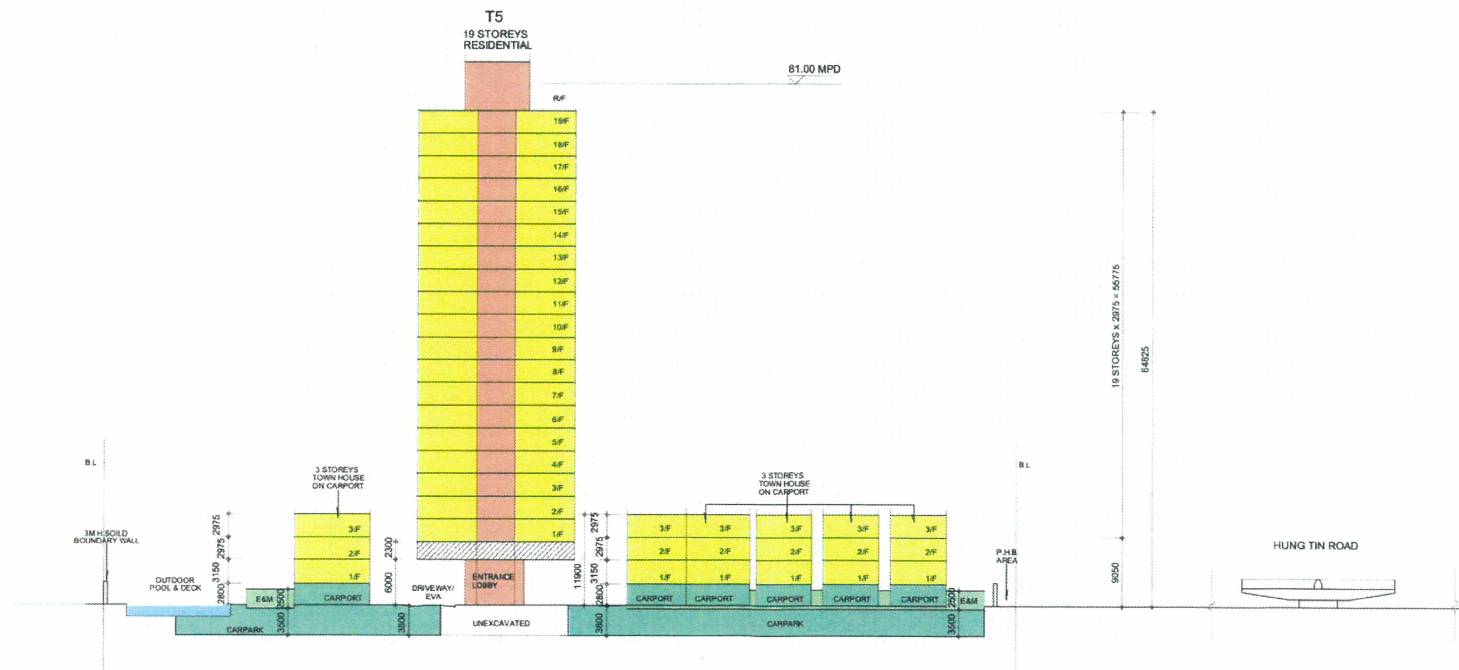


FIGURE 3.8 - DIAGRAMMATIC SECTION A-A

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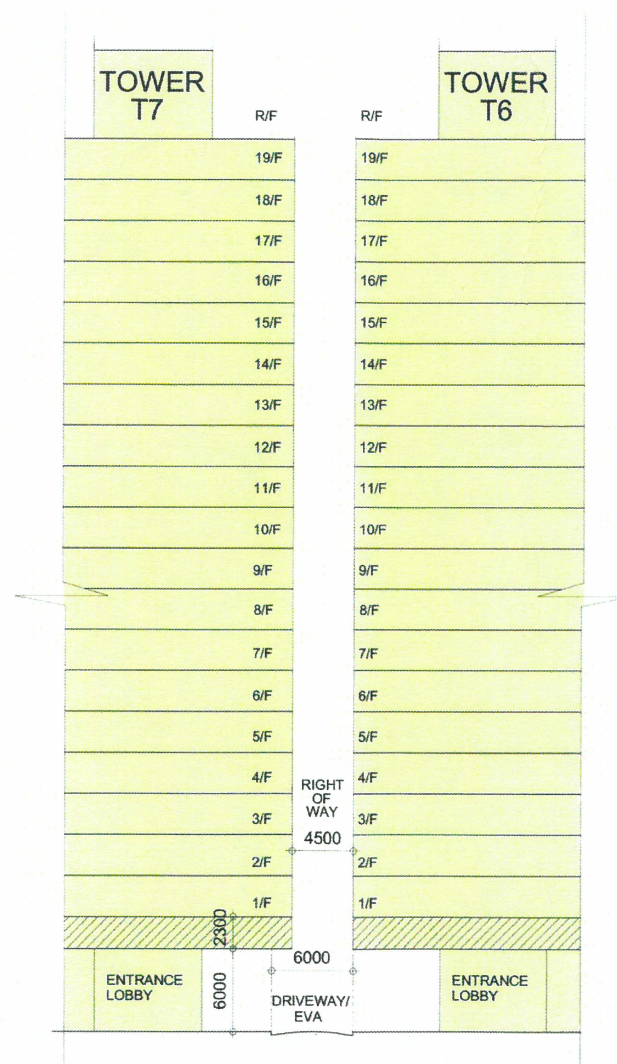


FIGURE 3.9 - DIAGRAMMATIC SECTION B-B

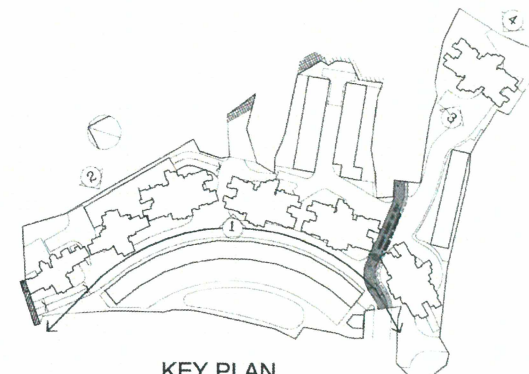
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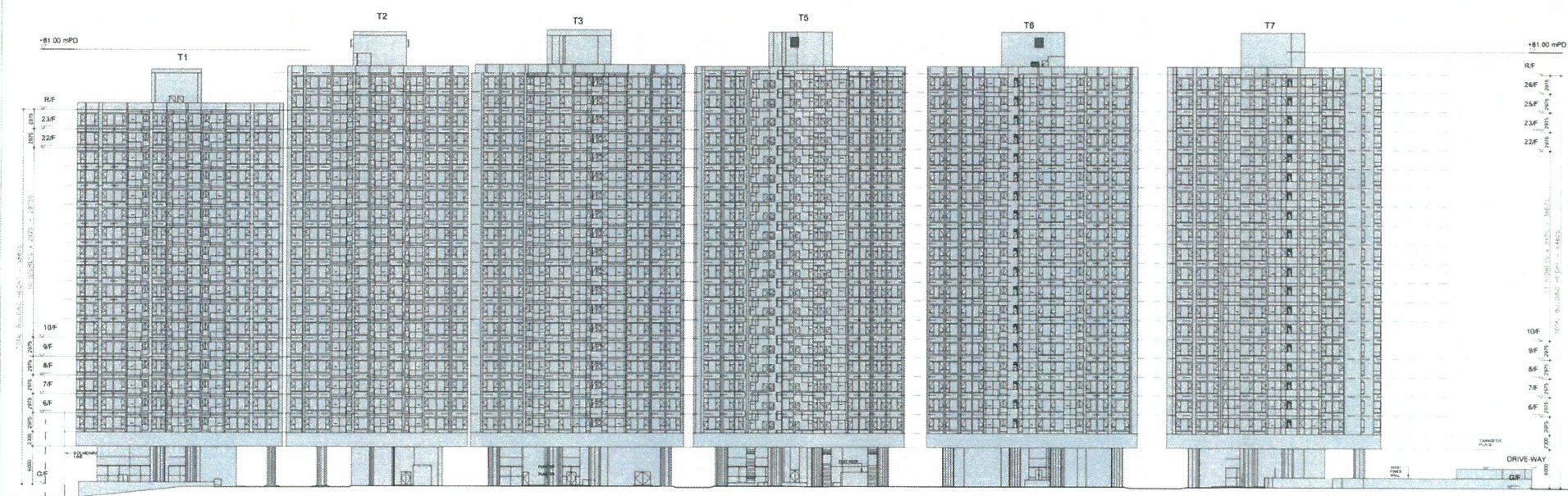
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KEY PLAN



ELEVATION 1
1:250

FIGURE 3.10 - ELEVATION 1

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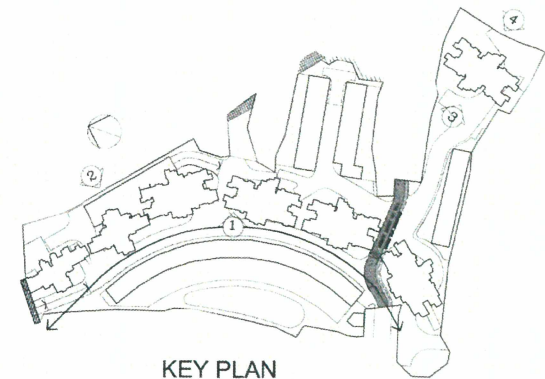
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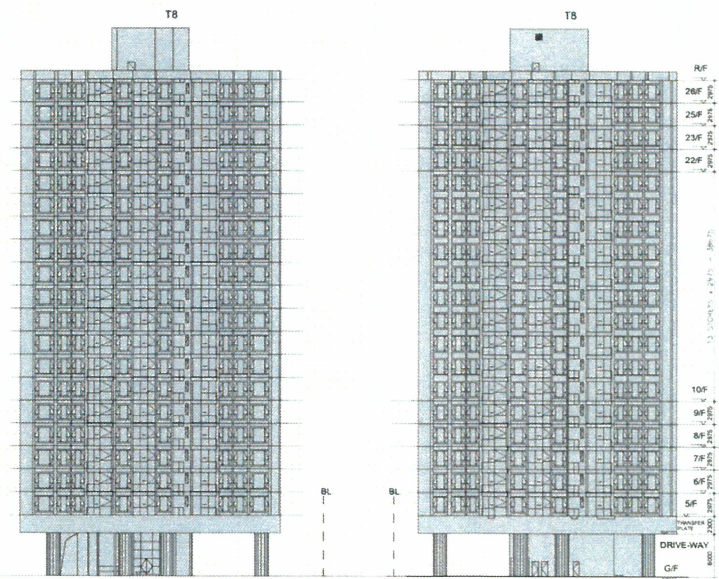


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ELEVATION 2
1:250



ELEVATION 3
1:250

ELEVATION 4
1:250

FIGURE 3.11 - ELEVATION 2, 3 & 4

PROPOSED RESIDENTIAL DEVELOPMENT AT HUNG SHUI KIU, YUEN LONG. LOT.2064 IN DD121

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Your Ref: TPB/A/YL-TYST/322
 Our Ref.: 2007459/0008/08
 Date: 11 January 2008

	Approved Scheme (A/YL-TYST/322)	Revised Scheme
Site Area (m²)	16,292	16,292
Total GFA (m²)	50,290	Not more than 50,290
- Domestic (m ²)	49,875	Not more than 49,875
- Non-domestic (Kindergarten) (m ²)	415	Not more than 415
Plot Ratio	3.09	Not more than 3.09
- Domestic	3.06	Not more than 3.06
- Non-domestic (Kindergarten)	0.03	Not more than 0.03
Site Coverage	30%	Not more than 30%
No. of Blocks	7 towers plus 46 town houses	7 towers plus 37 town houses
No. of Storeys	19+ ground floor void	19+ ground floor void
Building Heights	81mPD	Not more than 81mPD
No. of Units	743 (697 + 46 houses)	734 (697 + 37 houses)
Average Unit Size (m²)	67	About 68
Design Population (3.0 PPF)	2,229	2,202
Open Space (m²)	2,229	Not less than 2,202
Residents' Clubhouse (m²)	2,493	Not more than 2,493
Car Parking Spaces	298	295
Visitor Parking Spaces	10	10
Motorcycle Parking Spaces	15	15
L/UL Bay	7	7
Lay-by for School Buses	1	1